

SITE DATA

OWNER: SALTWATER WOODWORKING, INC.
200 S. 4th STREET
CAROLINA BEACH, NC 28428
Email: saltwaterwoodworking@gmail.com

SITE ADDRESS: 119 BRYAN ROAD
NHC PIN: R06500-006-004-000
TOTAL TRACT AREA: 0.45 ACRES
ZONING: IND-INDUSTRIAL DISTRICT
PROPOSED USE: LIGHT INDUSTRIAL USE, NOT WOODWORKING
CAMA LAND USE: URBAN
FLOOD DATA: ZONE X, FIRM 3720/3115 J, EFFECTIVE 6/02/2006
NO OPEN SPACE OR RECREATIONAL AREAS PROVIDED
SETBACKS:
FRONT 50 FEET
SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)
REAR 0 FEET
SOLID WASTE DISPOSAL: ROLL-OUT TRASH CANS WILL BE KEPT INSIDE THE OPEN AIR CENTER BUILDING.

PARKING REQUIREMENTS/CALCULATIONS: INDUSTRIAL
(square footage is based upon building area)
MAXIMUM 1 SPACE PER 1,000 sf = 5,987 sf / 1,000 sf = 5.9 = 6 SPACES
MINIMUM 1 SPACE PER 1,500 sf = 5,987 sf / 1,500 sf = 3.9 = 4 SPACES
PROPOSED PARKING: 4 SPACES

EXISTING WATER: - 410 GPD
EXISTING SEWER: - 0 GPD
PROPOSED WATER: 920 GPD (PROPOSED 2 X 410)
PROPOSED SEWER: 480 GPD (PROPOSED 2 X 240)

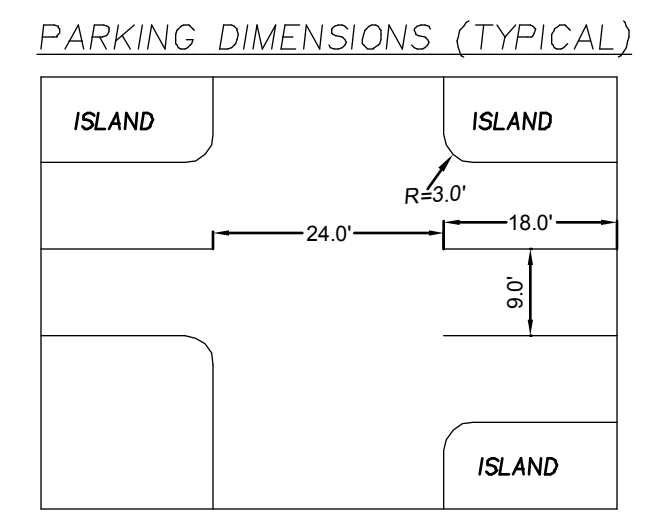
BUILDING DETAILS:
OF BUILDINGS: 2
OF STORIES: 1
BUILDING HEIGHT (proposed): 16'
1ST FLOOR: 3,960 SF
BUILDING SETBACKS (proposed):
FRONT SETBACK: 50.0'
REAR SETBACK: 9.9'
WEST SIDE SETBACK: 26.3'
EAST SIDE SETBACK: n/a; Existing Building on East side
INTERNATIONAL BUILDING CODE TYPE I, PER PLANS

NOTES:

1. CURBING, CROSSSTIES, UTILITY POLES, ETC. CAN BE USED AS WHEEL STOPS IF ANCHORED DOWN.

GENERAL NOTES:

- All pavement markings in public rights-of-way and for driveways area to be thermoplastic and meet City and/or NCDOT standards.
- All signs and pavement markings in areas open to public traffic are to meet MUTCD (manual for Uniform Traffic Control Devices) standards.
- All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
- All parking stall markings and lane arrows within the parking areas shall be white.
- A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
- Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
- A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan.
- Contact Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right of way.



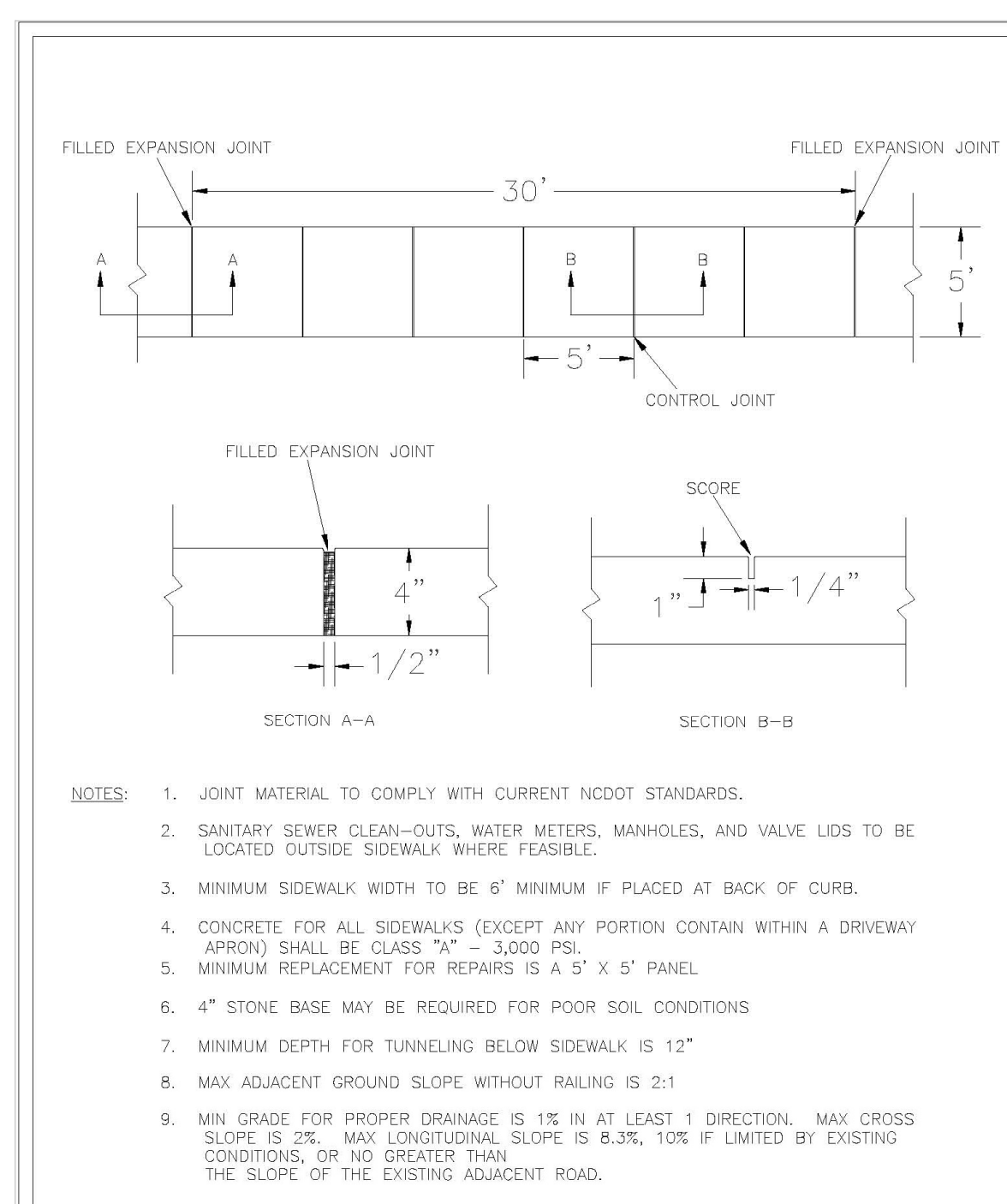
IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS BUILDING: 2,027 SF
CONCRETE: 430 SF
TOTAL: 2,457 SF

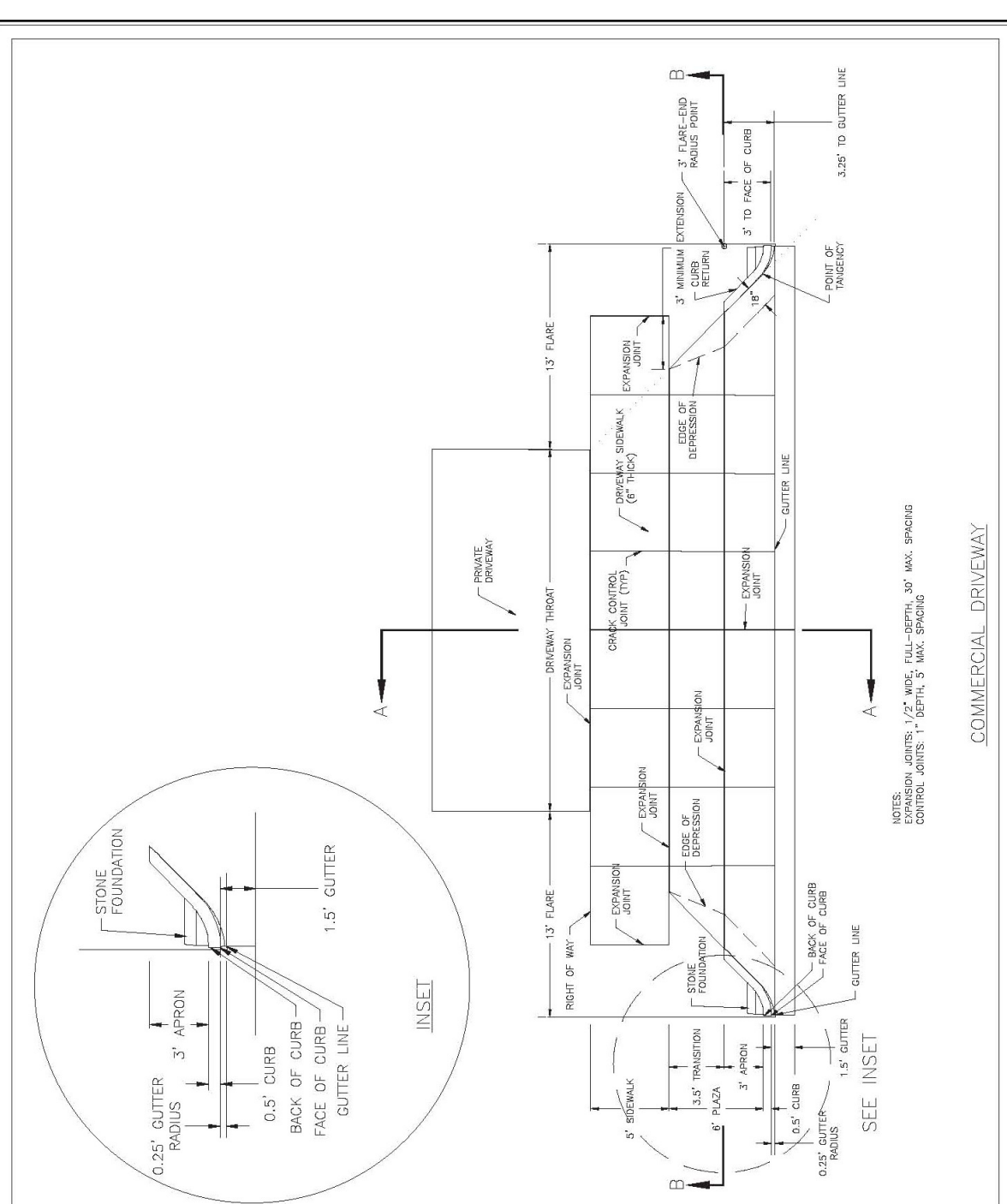
PROPOSED ON-SITE BUILDING: 3,960 SF
PARKING (CONC.): 256 SF
WALKS: 910 SF
TOTAL: 5,126 SF

PROPOSED OFF-SITE DRIVE (CONC.): 778 SF
WALKS: 982 SF
TOTAL: 1,760 SF
TOTAL ALL: 9,343 SF

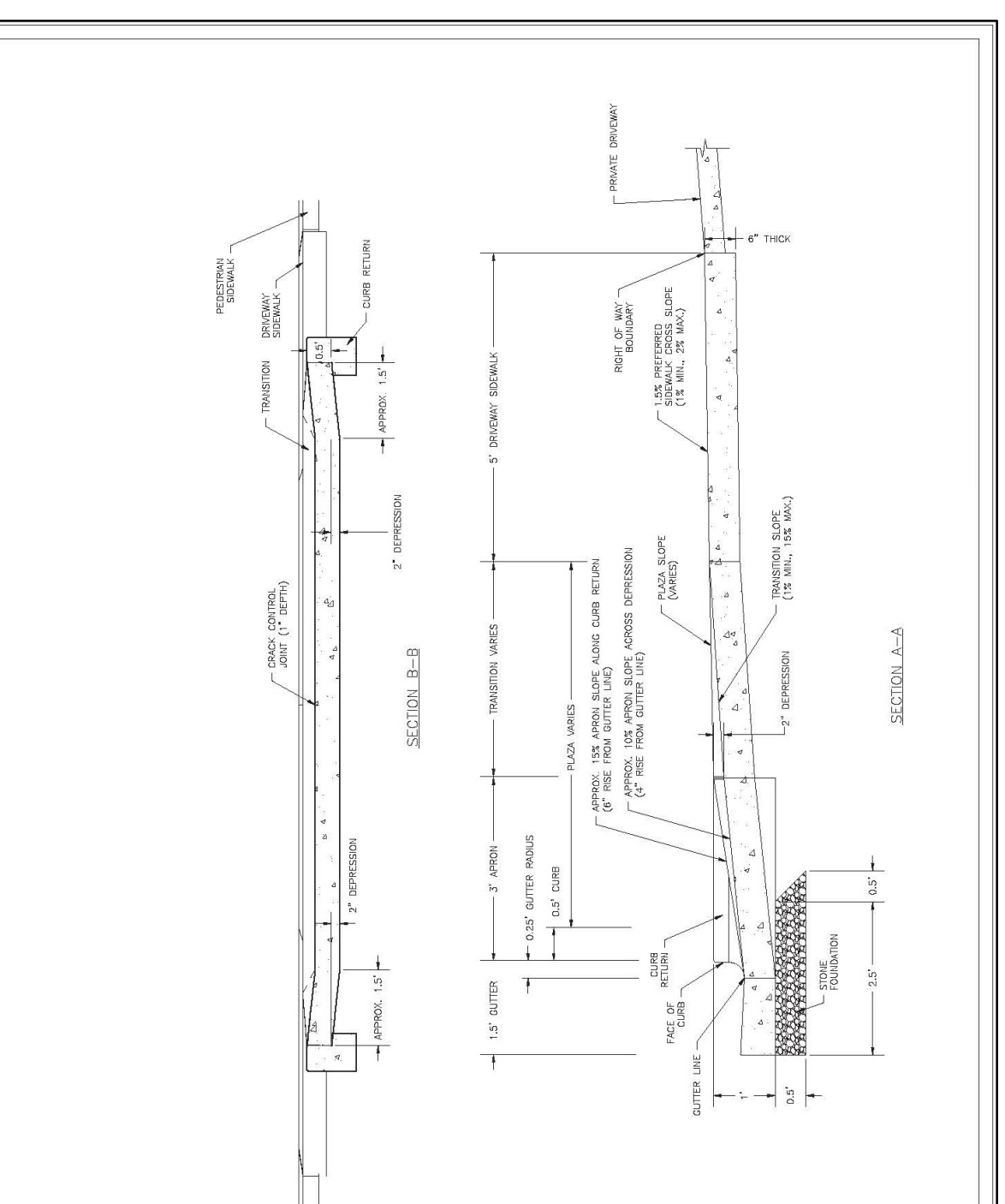
LOT AREA: 19,972 SF
LOT COVERAGE: 38%



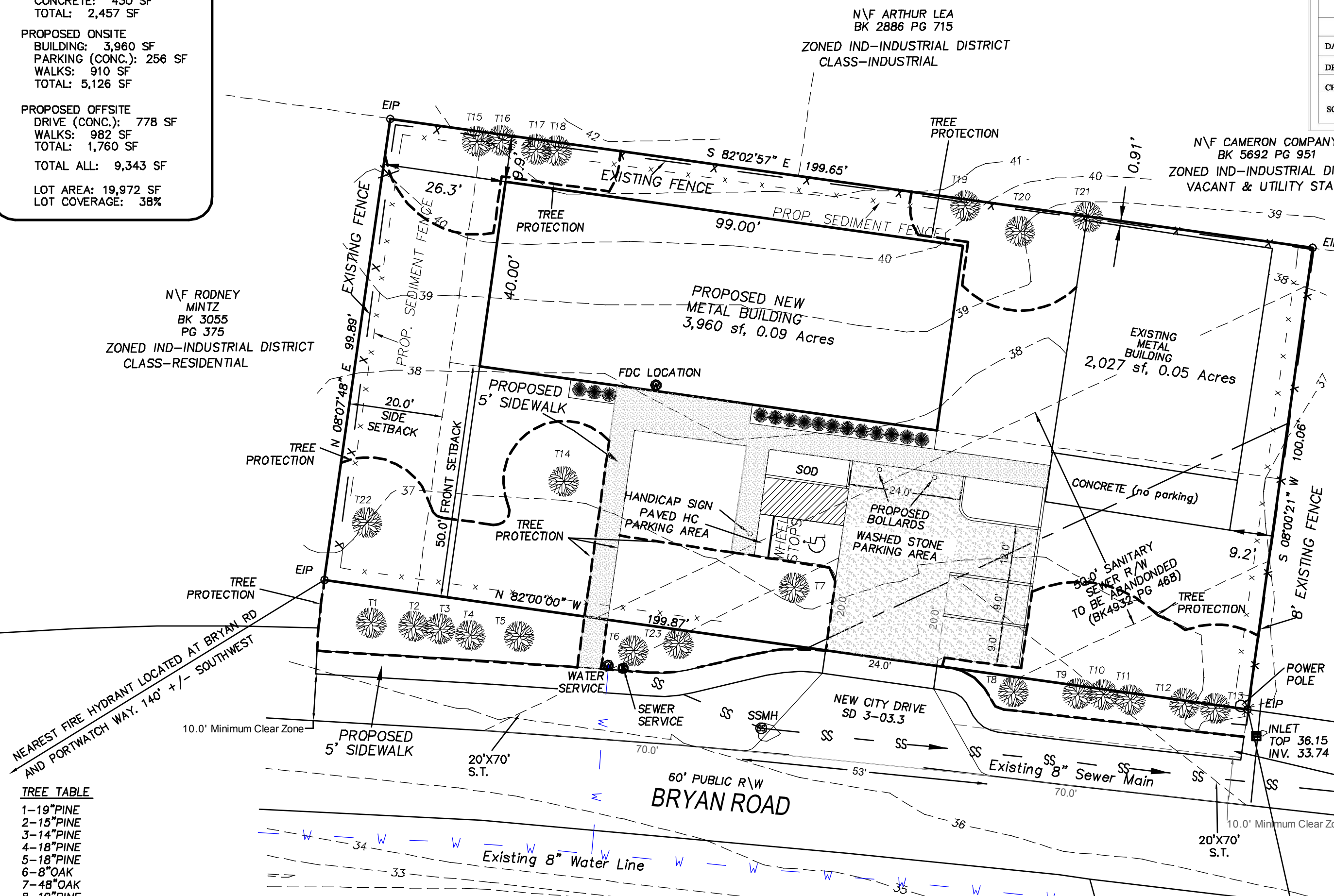
DATE: OCTOBER, 2010	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7857	SD 3-10
DRAWN BY: PWSR	SIDEWALK		SD 3-10
CHECKED BY: DEC			
SCALE: NOT TO SCALE			



DATE: FEB. 14, 2017	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7857	SD 3-03.3
DRAWN BY: JSR	COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)		SD 3-03.3
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			



DATE: FEB. 14, 2017	STANDARD DETAIL	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7857	SD 3-03.4
DRAWN BY: JSR	COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB)		SD 3-03.4
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			



N\F ARTHUR LEA BK 2886 PG 715
ZONED IND-INDUSTRIAL DISTRICT CLASS-INDUSTRIAL

N\F CAMERON COMPANY BK 5892 PG 951
ZONED IND-INDUSTRIAL DISTRICT VACANT & UTILITY STATION

N\F RODNEY MINTZ BK 3055 PG 375
ZONED IND-INDUSTRIAL DISTRICT CLASS-RESIDENTIAL

N\F SAMUEL SEVERT BK 2316 PG 174
ZONED IND-INDUSTRIAL DISTRICT CLASS-RESIDENTIAL

BOARD OF ADJUSTMENT CASE NUMBER FOR APPROVED BUFFER REQUIREMENT VARIANCE = BADV-3-1214. BOARD APPROVED THE VARIANCE OF 10.8 FEET FROM THE 20 FOOT BUFFER REQUIREMENT.

SIDEWALK CAN BE CONSTRUCTED CLOSER TO TREES IF FORMS ARE HAND DUG OR CONSTRUCTED IN A MANNER THAT DOES NOT DAMAGE THE ROOTS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

TREE TABLE

1-19" PINE
2-15" PINE
3-14" PINE
4-18" PINE
5-18" PINE
6-8" OAK
7-48" OAK
8-19" PINE
9-24" PINE
10-12" OAK
11-19" PINE
12-12" HARDWOOD
13-18" PINE
14-13" OAK
15-20" PINE
16-15" PINE
17-18" PINE
18-18" PINE
19-12" PINE
20-17" PINE
21-13" HARDWOOD
22-14" PINE
23-12" HARDWOOD

NOTES:

- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10' (Sec. 18-566 Co/W LDC)
- TREE PROTECTION/REMOVAL PERMIT IS REQUIRED. PERMIT MUST BE OBTAINED AND MEET CITY OF WILMINGTON REQUIREMENTS.
- INDUSTRIAL USES WILL BE LIMITED TO THOSE THAT DO NOT HANDLE GOODS IN QUANTITY. USES THAT HANDLE GOODS IN QUANTITY WILL REQUIRE A MINIMUM OF ONE OFF-STREET LOADING SPACE AS PER SECTION 18-527.

LEGEND

E.I.P. = EXISTING IRON PIPE
E.I. = EXISTING IRON
E.C.M. = EXISTING CONCRETE MONUMENT
R.W. = RIGHT OF WAY
C.P. = COMPUTED POINT
● = SMALL TREE
● = DWARF EVERGREENS

PROPERTY LINE

BUILDING SETBACK

CENTERLINE

EASEMENT

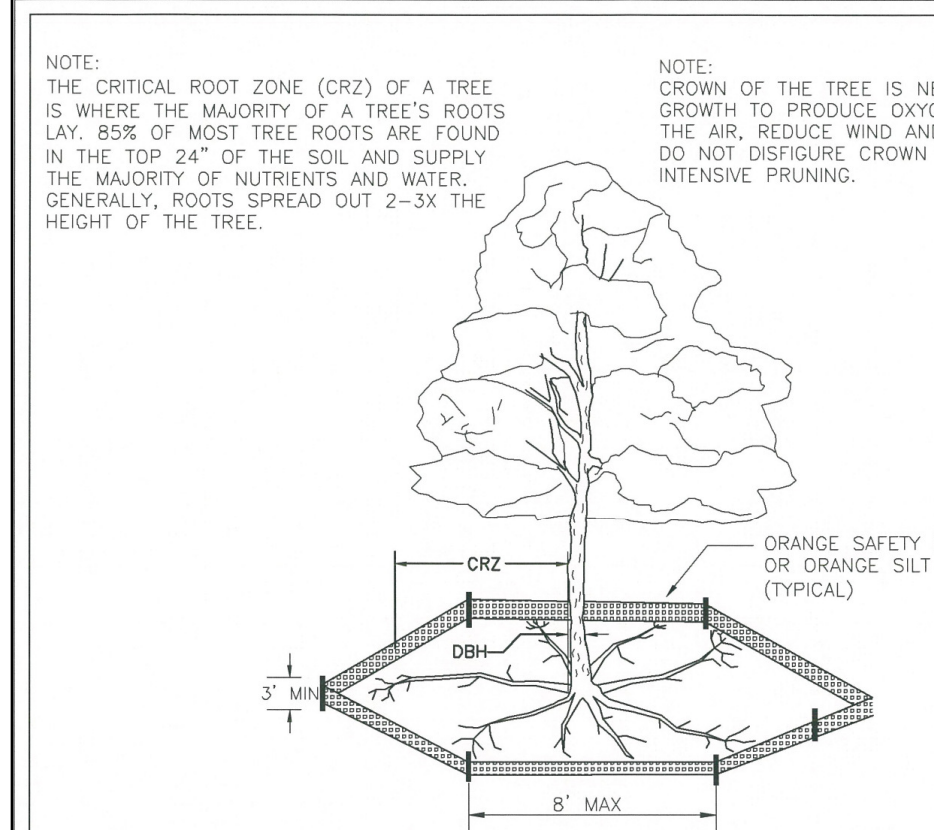
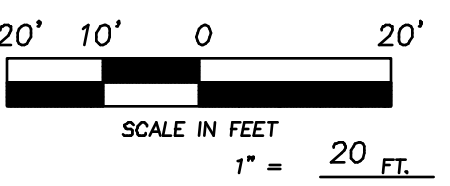
COMPUTED PROPERTY LINE

NOTES:

- AREA COMPUTED BY COORDINATE METHOD
- ALL DISTANCES ARE HORIZONTAL, NC GRID NORTH
- FOR REFERENCE SEE AS NOTED
- SURVEYED DECEMBER 2015, TOPOGRAPHIC INFORMATION ADDED APRIL 2017
- ELEVATION BASED ON NAVD 1988 (HDS GPS)

FIRE & LIFE SAFETY NOTES:

- CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE.
- HYDRANT MUST BE WITHIN 150' OF THE FDC. (MEASURED AS THE TRUCK DRIVES FOR PRECALCULATED USE)
- LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPERATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION 910-343-0696.
- ALL ISOLATION VALVES WITHIN THE "HOT BOX" SHALL BE ELECTRICALLY SUPERVISED. PLEASE WORK CLOSELY WITH YOUR FIRE SPRINKLER AND ALARM INSTALLER IN REGARDS TO RUNNING WIRE FOR TAMPER SWITCH.

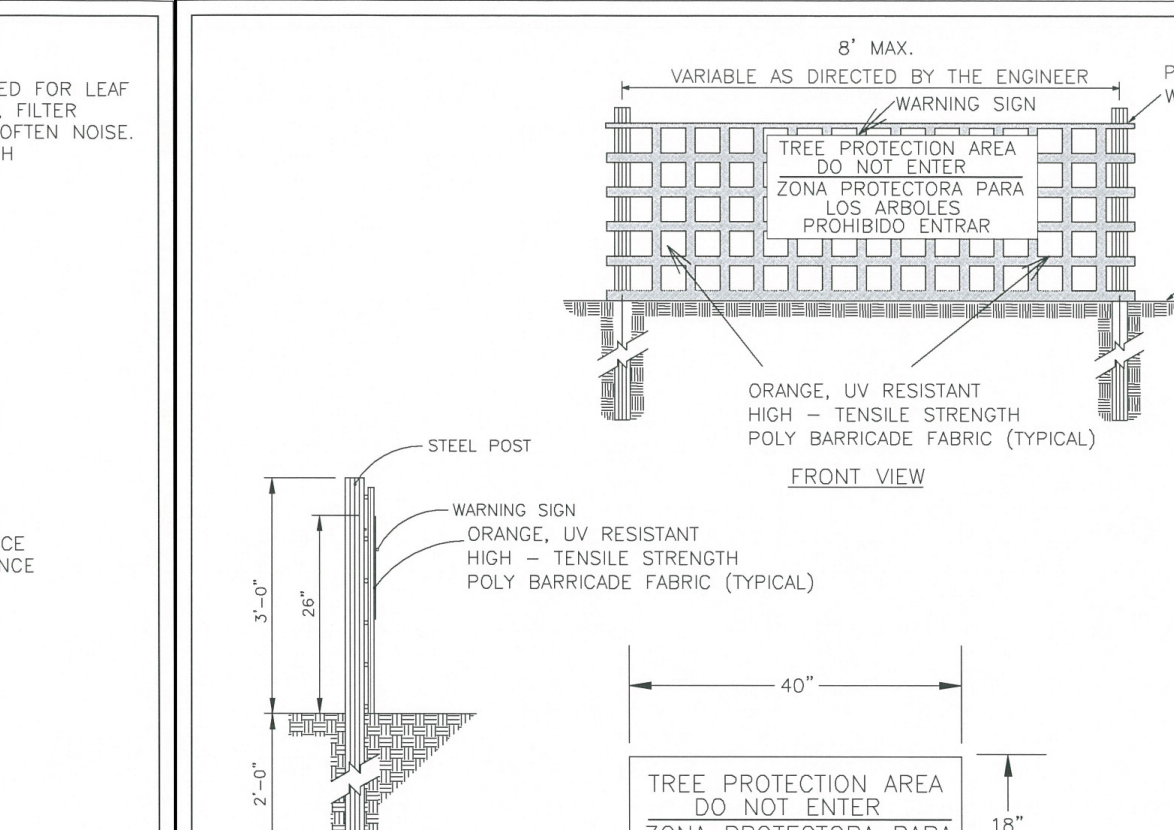


STANDARD DETAIL

TREE PROTECTION DURING CONSTRUCTION

SHEET 1 of 2

DATE: JAN. 2015	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7857	SD 15-09
DRAWN BY: JSR		SD 15-09
CHECKED BY: RDG, P.E.		
SCALE: NOT TO SCALE		



STANDARD DETAIL

TREE PROTECTION DURING CONSTRUCTION

SHEET 2 of 2

DATE: JAN. 2015	CITY OF WILMINGTON NORTH CAROLINA CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7857	SD 15-09
DRAWN BY: JSR		SD 15-09
CHECKED BY: RDG, P.E.		
SCALE: NOT TO SCALE		

Preliminary Plan

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PRELIMINARY PLAN

SITE PLAN

SALTWATER PROPERTIES LLC

CITY OF WILMINGTON
NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: SALTWATER WOODWORKING, INC.
200 S. 4th STREET
CAROLINA BEACH, NC 28428
PH.

HANOVER DESIGN SERVICES, P.A.
LAND SURVEYORS, ENGINEERS & LAND PLANNERS
1123 FLORAL PARKWAY
WILMINGTON, N.C. 28403
PHONE: (910) 343-8002 LICENSE NO. 5C-058Z

Date: 12-01-17
Scale: 1" = 20'
Drawn: WNP
Checked: JLW
Project No: 12957-site
Sheet No: 1
Of: 2

3	CITY COMMENTS	08-28-2018
2	BUILDING CROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017
REV. NO.	REVISIONS	DATE

LANDSCAPING DATA

STREET YARD CALCULATION
 MAXIMUM WIDTH: 37.5'
 MINIMUM WIDTH: 12.5'
 PROVIDED STREET YARD (sf): 2,009 sf
 STREET YARD MINIMUM STANDARD: FOR EVERY 600 SQUARE FEET OF STREET YARD AREA, THE STREET YARD SHALL CONTAIN:
 a. ONE (1) CANOPY TREE AS SPECIFIED IN SECTION 18-448, OR
 b. THREE (3) STANDARD UNDERSTORY TREES WHERE OVERHEAD POWER LINES PROHIBIT CANOPY TREES IN THE STREET YARD.
 c. SIX (6) SHRUBS, TWELVE (12) INCHES IN HEIGHT AT PLANTING.
 PROVIDED STREET YARD (sf)/ MINIMUM STANDARD:
 = 2009 sf / 600 sf = 3.3 CANOPY TREES = 4 CANOPY TREES REQUIRED
 = 3 EXISTING TREES (T17, T14, T22), 1 ADDITIONAL CANOPY TREES PROVIDED
 = 2009 sf / 600 sf x 6 = 21 SHRUBS REQ. = 21 SHRUBS PROVIDED
 STREET YARD COVERED BY IMPERVIOUS AREA:
 MAXIMUM: NO MORE THAN 15% 2009 sf x 0.15 = 302 sf
 PROPOSED: 63 sf OF IMPERVIOUS INSIDE STREET YARD
 PARKING AREA INTERIOR:
 CANOPY COVERAGE NOT REQUIRED BECAUSE LESS THAN 5 PARKING SPACES
 FOUNDATION PLANTINGS:
 99' x 16'(height) x 12% = 191 sf REQUIRED
 FOUNDATION AREA PROVIDED = 200 sf

NOTES:

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GENERAL NOTES:
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 2. All signs and pavement markings in areas open to public traffic are to meet MUTCD (manual for Uniform Traffic Control Devices) standards.
 3. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
 4. All parking stall markings and lane arrows within the parking areas shall be white.
 5. A utility cut permit is required for each open cut of a City street. Note this on the plan and contact 341-5888 for more details. In certain cases an entire resurfacing of the area being open cut may be required.
 6. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 7. A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Department for review and approval prior to the recording of the final plan.
 8. Contact Traffic Engineering at 341-7888 fourty-eight hours prior to any excavation in the right of way.

SITE DATA

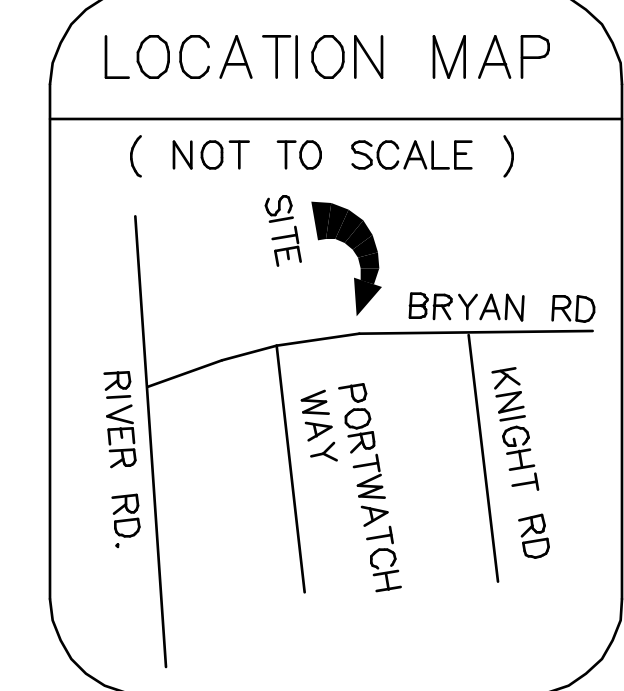
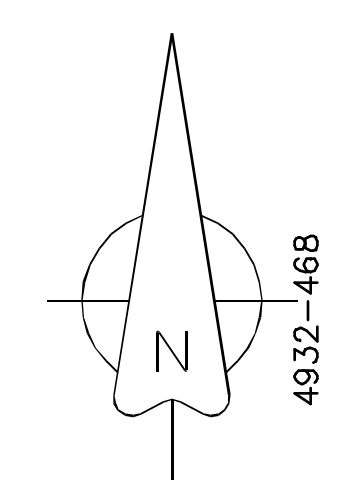
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 CAMA LAND USE: URBAN
 FLOOD DATA: ZONE X, FIRM 3720/3115 J, EFFECTIVE 6/02/2006
 NO OPEN SPACE OR RECREATIONAL AREAS PROVIDED
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 FRONT 50 FEET
 SIDE 20 FEET (WHEN ABUTTING RESIDENTIAL USE)
 REAR 0 FEET
 SOLID WASTE DISPOSAL: ROLL-OUT TRASH CANS WILL BE KEPT INSIDE THE OPEN AIR CENTER BUILDING.
 PARKING REQUIREMENTS/CALCULATIONS: INDUSTRIAL (square footage is based upon building area)
 MAXIMUM 1 SPACE PER 1,000 sf = 5,987 sf / 1,000 sf = 5.9 = 6 SPACES
 MINIMUM 1 SPACE PER 1,500 sf = 5,987 sf / 1,500 sf = 3.9 = 4 SPACES
 PROPOSED PARKING: 4 SPACES
 EXISTING WATER: - 410 GPD
 EXISTING SEWER: - 0 GPD
 PROPOSED WATER: 820 GPD (PROPOSED 2 X 410)
 PROPOSED SEWER: 480 GPD (PROPOSED 2 X 240)
 BUILDING DETAILS:
 # OF BUILDINGS: 2
 # OF STORIES: 2
 BUILDING HEIGHT (proposed): 16'
 1ST FLOOR: 3,960 SF
 BUILDING SETBACKS (proposed):
 FRONT SETBACK: 50.0'
 REAR SETBACK: 9.9'
 WEST SIDE SETBACK: 26.3'
 EAST SIDE SETBACK: n/a; Existing Building on East side
 INTERNATIONAL BUILDING CODE TYPE I, PER PLANS

Approved Construction Plan

Name	Date
Planning _____	_____
Traffic _____	_____
Fire _____	_____

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

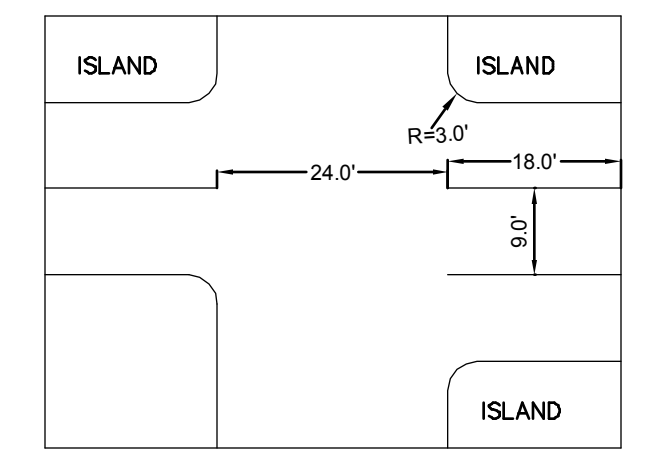
STORMWATER MANAGEMENT PLAN
 APPROVED
 CITY OF WILMINGTON
 ENGINEERING DEPARTMENT
 DATE _____
 PERMIT # _____
 SIGNED _____



LANDSCAPING NOTES:

1. ALL PLANTINGS SHALL BE CURBED OR OTHERWISE PHYSICALLY PROTECTED SUCH AS BY WHEEL STOPS. IF CURBING IS USED, HOWEVER, CURB OPENINGS SHALL BE INSTALLED TO ALLOW PASSAGE OF STORMWATER INTO LANDSCAPED AREAS DESIGNED WITH DEPRESSED CONTOURS FOR INFILTRATION. (Sec. 18-481(f))
 2. PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
 3. HVAC SYSTEM TO BE NON-VISIBLE FROM ADJACENT RESIDENTIAL USES.

PARKING DIMENSIONS (TYPICAL)



IMPERVIOUS CALCULATIONS

EXISTING IMPERVIOUS BUILDING: 2,027 SF
 CONCRETE: 430 SF
 TOTAL: 2,457 SF
 PROPOSED ONSITE BUILDING: 3,960 SF
 PARKING (CONC.): 256 SF
 WALKS: 910 SF
 TOTAL: 5,126 SF
 PROPOSED OFFSITE DRIVE (CONC.): 778 SF
 WALKS: 982 SF
 TOTAL: 1,760 SF
 TOTAL ALL: 9,343 SF
 LOT AREA: 19,972 SF
 LOT COVERAGE: 38%

PLANT SCHEDULE

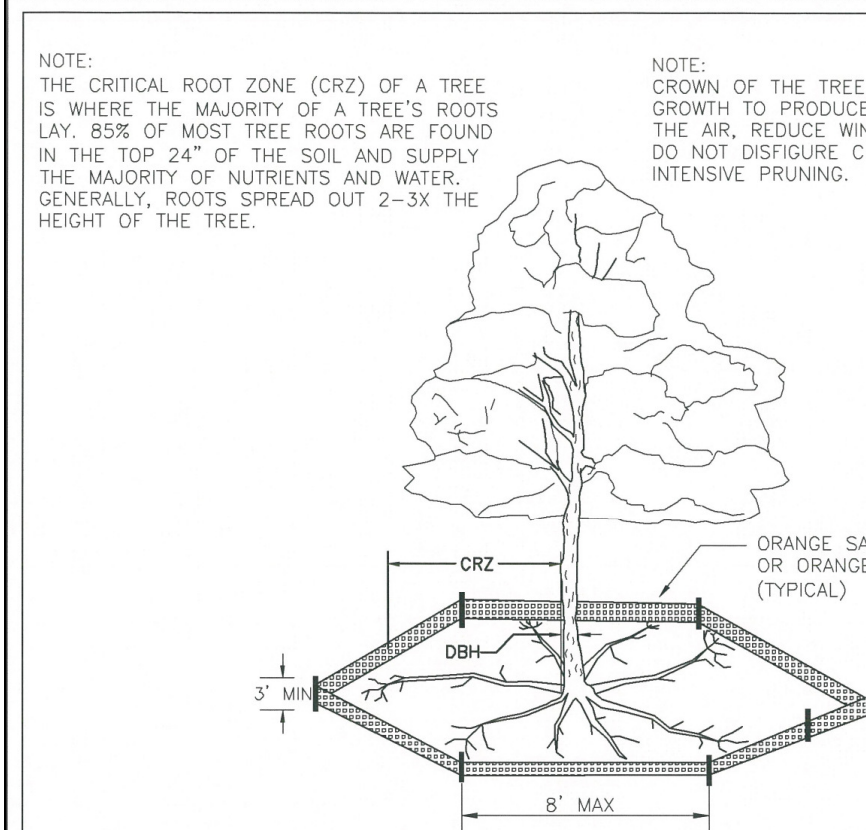
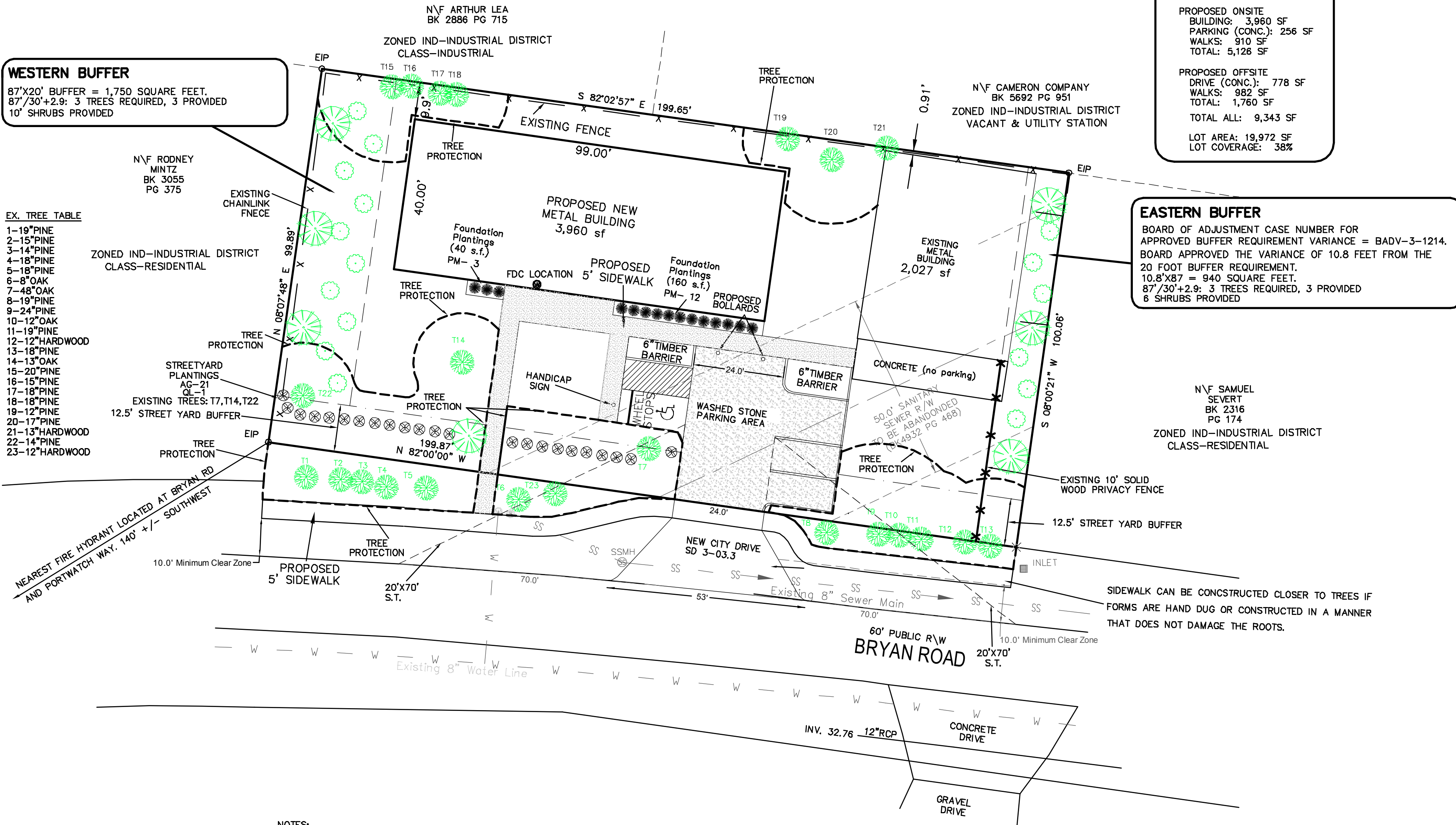
SYMBOL	CODE	QTY	COMMON NAME	SIZE	SPACING	REMARKS
	QL	7	QUERCUS LAURIFOLIA\LAUREL OAK	2"-2.5" CAL.		CANOPY TREE
	AG	23	ABELIA\GLOSSY ABELIA	15-18" HGT.	48" O.C.	MED. SHRUB
	PM	15	PDOCCARPOUS\CHINESE PODOCARPUS	1"-18" HGT.		FOUNDATION SHRUB
	WM	16	MYRICA CERIFERA\MAX MYRTLE	3" HGT.	8' O.C.	MED. SHRUB

WESTERN BUFFER
 87'x20' BUFFER = 1,750 SQUARE FEET.
 87'x30'+2.9: 3 TREES REQUIRED, 3 PROVIDED
 10' SHRUBS PROVIDED

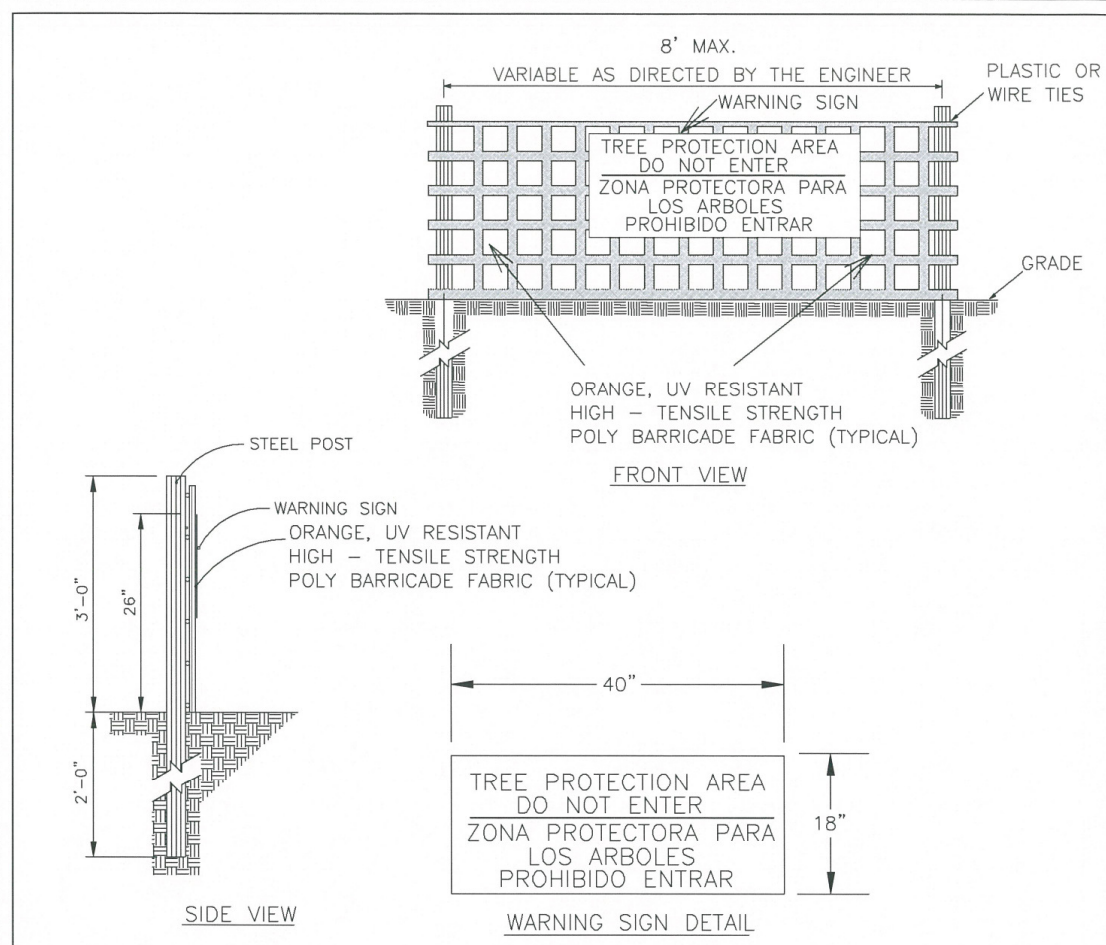
EX. TREE TABLE

1-19" PINE
2-15" PINE
3-14" PINE
4-18" PINE
5-18" PINE
6-8" OAK
7-48" OAK
8-19" PINE
9-24" PINE
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11-19" PINE
12-12" HARDWOOD
13-18" PINE
14-13" OAK
15-20" PINE
16-15" PINE
17-18" PINE
18-18" PINE
19-12" PINE
20-17" PINE
21-13" HARDWOOD
22-14" PINE
23-12" HARDWOOD

EASTERN BUFFER
 BOARD OF ADJUSTMENT CASE NUMBER FOR APPROVED BUFFER REQUIREMENT VARIANCE = BADV-3-1214.
 BOARD APPROVED THE VARIANCE OF 10.8 FEET FROM THE 20 FOOT BUFFER REQUIREMENT.
 10.8'x8' = 940 SQUARE FEET.
 87'x30'+2.9: 3 TREES REQUIRED, 3 PROVIDED
 6 SHRUBS PROVIDED



NOTES:
 1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH).
 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR LOGGING MATS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY.
 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED. CONTRACTOR SHALL REPAIR DAMAGE TO TREES.
 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL REQUIRE OWNER TO POST A LETTER OF CREDIT FOR 3 YRS FOR TREE MITIGATION.



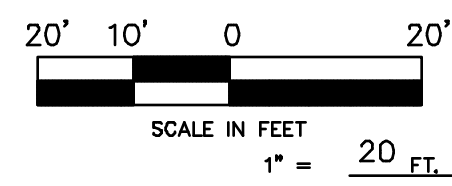
STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 DATE: JAN. 2015
 DRAWN BY: JSR
 CHECKED BY: BDL/P.E.
 SCALE: NOT TO SCALE
 SHEET 1 of 2

STANDARD DETAIL
TREE PROTECTION DURING CONSTRUCTION
 DATE: JAN. 2015
 DRAWN BY: JSR
 CHECKED BY: BDL/P.E.
 SCALE: NOT TO SCALE
 SHEET 2 of 2

LEGEND
 E.I.P. = EXISTING IRON PIPE
 E.I. = EXISTING IRON
 E.C.M. = EXISTING CONCRETE MONUMENT
 R/W = RIGHT OF WAY
 C.P. = COMPUTED POINT
 * = DWARF EVERGREENS
 ● = EXISTING TREES

- NOTES:**
 1. AREA COMPUTED BY COORDINATE METHOD
 2. ALL DISTANCES ARE HORIZONTAL, NC GRD NORTH
 3. FOR REFERENCE SEE AS NOTED
 4. SURVEYED DECEMBER 2015, TOPOGRAPHIC INFORMATION ADDED APRIL 2017
 5. ELEVATION BASED ON NAVD 1988 (HDS GPS)

BUFFER YARD REQUIREMENTS:
 (FENCE & PLANTING COMBINATION TO BE DETERMINED BY OWNER & CITY ARBORIST)
 SOLID ARTIFICIAL FENCING WITH TWO ROWS OF A COMBINATION OF TREES & SHRUBS PROVIDED AT A MINIMUM HEIGHT OF THREE FEET AT INITIAL PLANTING AND GIVE AT LEAST 50% VISUAL OPACITY OF THE FENCE AT PLANTING; OR IF PERMEABLE FENCING IS USED, TWO ROWS OF PLANTED MATERIALS WHICH GIVE APPROXIMATELY 100% OPACITY OF THE FENCE WITHIN THREE YEARS OF PLANTING. THE BUFFER VEGETATION SHALL BE LOCATED BETWEEN THE FENCE AND THE COMMON PROPERTY LINE.



Preliminary Plan

REV. NO.	REVISIONS	DATE
4	CITY COMMENTS	10-04-2018
3	CITY COMMENTS	08-28-2018
2	BUILDING GROSS AREA CHANGE, PARKING CHANGES	03-14-2018
1	CITY OF WILMINGTON TRC REVIEW COMMENTS	10-10-2017

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LANDSCAPE PLAN
SALTWATER PROPERTIES LLC
 CITY OF WILMINGTON
 NEW HANOVER COUNTY, NORTH CAROLINA

OWNER: SALTWATER WOODWORKING, INC.
 200 S. 4th STREET
 CAROLINA BEACH, NC 28428

HANOVER DESIGN SERVICES, P.A.
 LAND SURVEYORS, ENGINEERS & LAND PLANNERS
 1123 FLORAL PARKWAY
 WILMINGTON, N.C. 28403
 PHONE: (910) 343-8002 LICENSE No.: 1C-0592

Date: 12-01-17
Scale: 1" = 20'
Drawn: WNP
Checked: JLW
Project No.: 12957-site
Sheet No.: 2
Of: 2